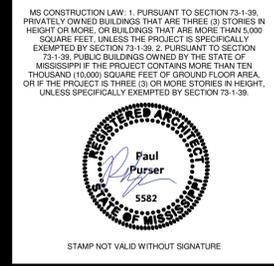
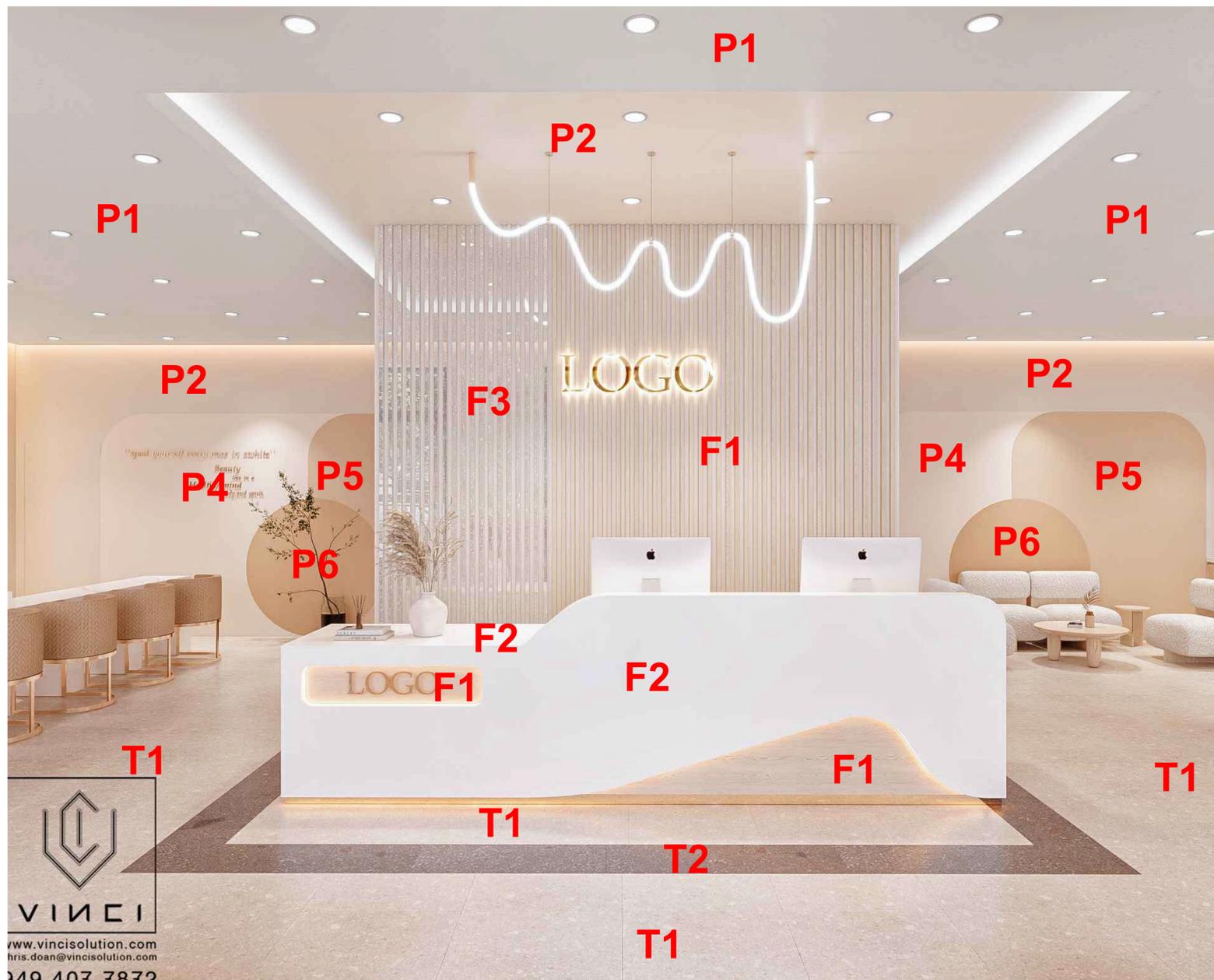


AnCee Nail Lounge

Jackson, MS



AnCee Nail Lounge
Project No 20240701001 . Date 07/01/2024

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1855 Lakeland Dr., Jackson, MS 39216
Existing Remodel

Construction Documents

Revision	Rev Date

Cover Sheet

000 G

Project Directory

Project Information

Name: AnCee Nail Lounge
Address: 1855 Lakeland Dr, Jackson, MS 39216

Client

Ancee Nail Lounge, Phi Nguyen
1855 Lakeland Dr
Jackson, MS 39216
(601) 826-7268
Contact: Phi (Phillip)

Architect

Purser & Company, PA
160 McTyre Ave, STE B
Jackson, MS 39202
(601) 376-9647
Contact: Paul Purser (paul@purserandcompany.com)

Drawing Index

Sheet Number	Sheet Name
A-142	Unnamed
RA101	Presentation Sheet
G-000	Cover Sheet
G-101	Code Review & Life Safety
AC101	Overall Site Layout
AC102	Site Layout
A-101	First Floor
A-102	Floor Plan Tags
P-102	Plumbing
M-101	Mechanical
E-101	Electrical

Project Notes

Project Alternates

- None

Energy Code Requirements

- IBC 2018 Energy Code is the mandatory energy code standard for this project.
- All mechanical and electrical building system installed should meet all requirements of the energy code.

Thermal Envelope Requirements

- Roofs = R-38 ci (insulation entirely above deck)
- Walls = R-19 + R-7.5ci (wood framed walls)
- Slab on Grade = no requirement

Fenestration Requirements (U-factor)

- Fixed = U-Factor 0.46
- Operable = U-Factor 0.60
- Entrances = U-Factor 0.77
- SHGC = U-Factor 0.25

General Information

- Do not scale drawings. If dimensions are in question, the contractor shall be responsible for obtaining clarification from the architect before continuing with the construction.
- Contractors shall verify, on the site, all dimensions and equipment locations, and notify architect promptly in writing of any discrepancies.
- Contractors shall be responsible to determine the on site conditions and perform all necessary work to complete the project.
- Contractors shall maintain safe methods of egress for occupied buildings and in site area during construction.
- All casework dimensions shall be field verified before unit fabrication or installation.
- Dimensions, notes, finishes, and fixtures shown on typical floor plans shall apply to similar, symmetrical, or opposite hand plans, sections, or details.
- Typical, or typ., shall mean that condition is representative for similar conditions throughout, U.N.O. Details are usually keyed and noted "Typ." only one time when they first occur.
- Partitions are dimensioned from finish face U.N.O. Dimensions to masonry are to actual finish face U.N.O.
- Owner to have right of refusal for all materials, furniture, fixtures and good within the limits of the construction contract.

Project Code Requirements

1. Applicable Codes and Standards :

- IBC - International Building Code (2018 edition)
- IMC - International Mechanical Code (2018 edition)
- IPC - International Plumbing Code (2018 edition)
- IEC - International Electrical Code (2018 edition)
- IFC - International Fire Code (2018 edition)
- ADA 2010- Americans with Disabilities Act

2. Building Code Requirements

A. Occupancy Classification

Group M: Mercantile

B. General Building Heights and Area

- Group M, Type III B; 12,500 SF allowed per floor, 2 stories allowed
- Fire Suppression not Required

C. Types of Construction

Construction Type III B requirements:

Primary Structural Frame - 0hr

Bearing Walls

Exterior - 2hr

Interior - 0hr

Non-bearing Walls

Interior - 0hr

Floor Construction - 0hr

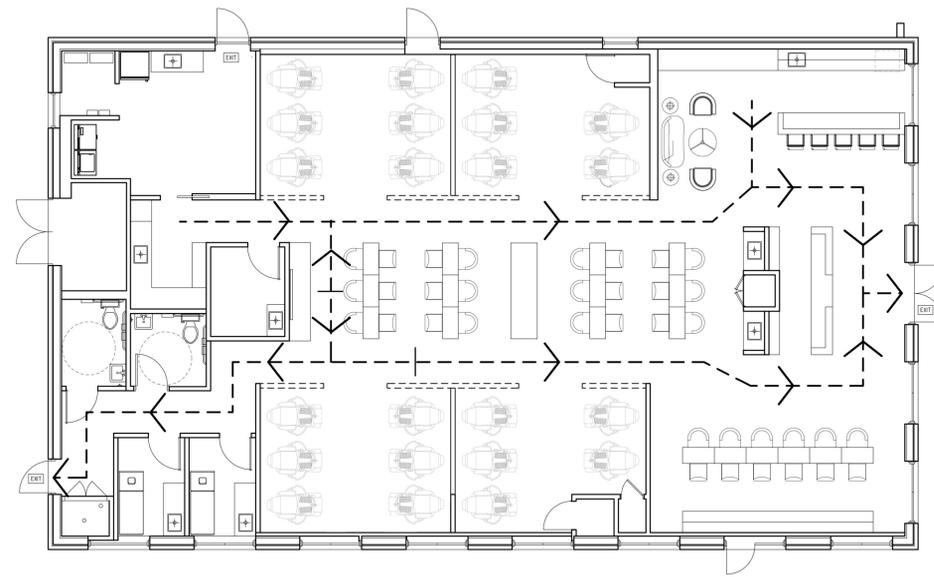
Roof Construction - 0hr

D. Means of Egress

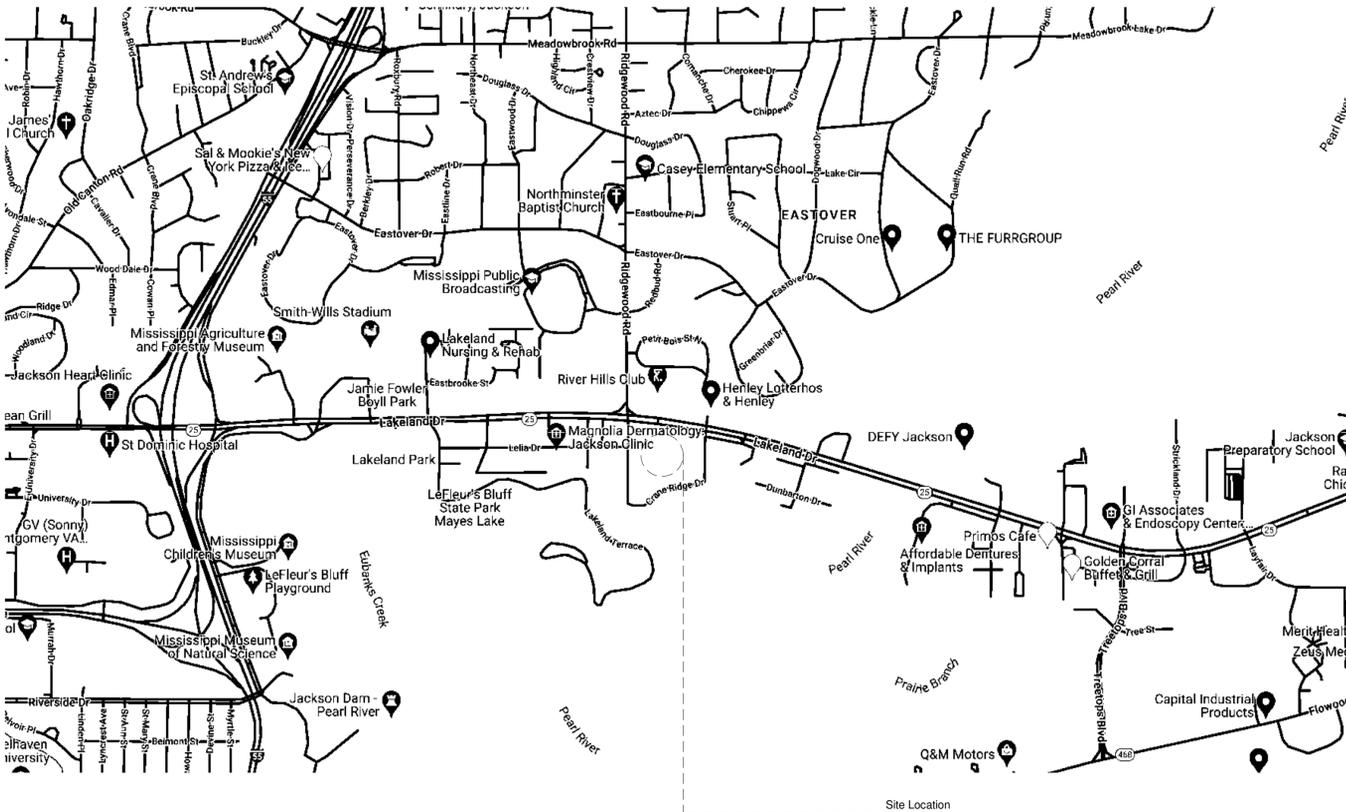
- Common Path of Egress Travel - 75 ft.
- Exit Access Travel Distance - 200 ft.

E. Fire Protection Systems

Fire Suppression - No



1 Floor Plan Life Safety
1/8" = 1'-0"



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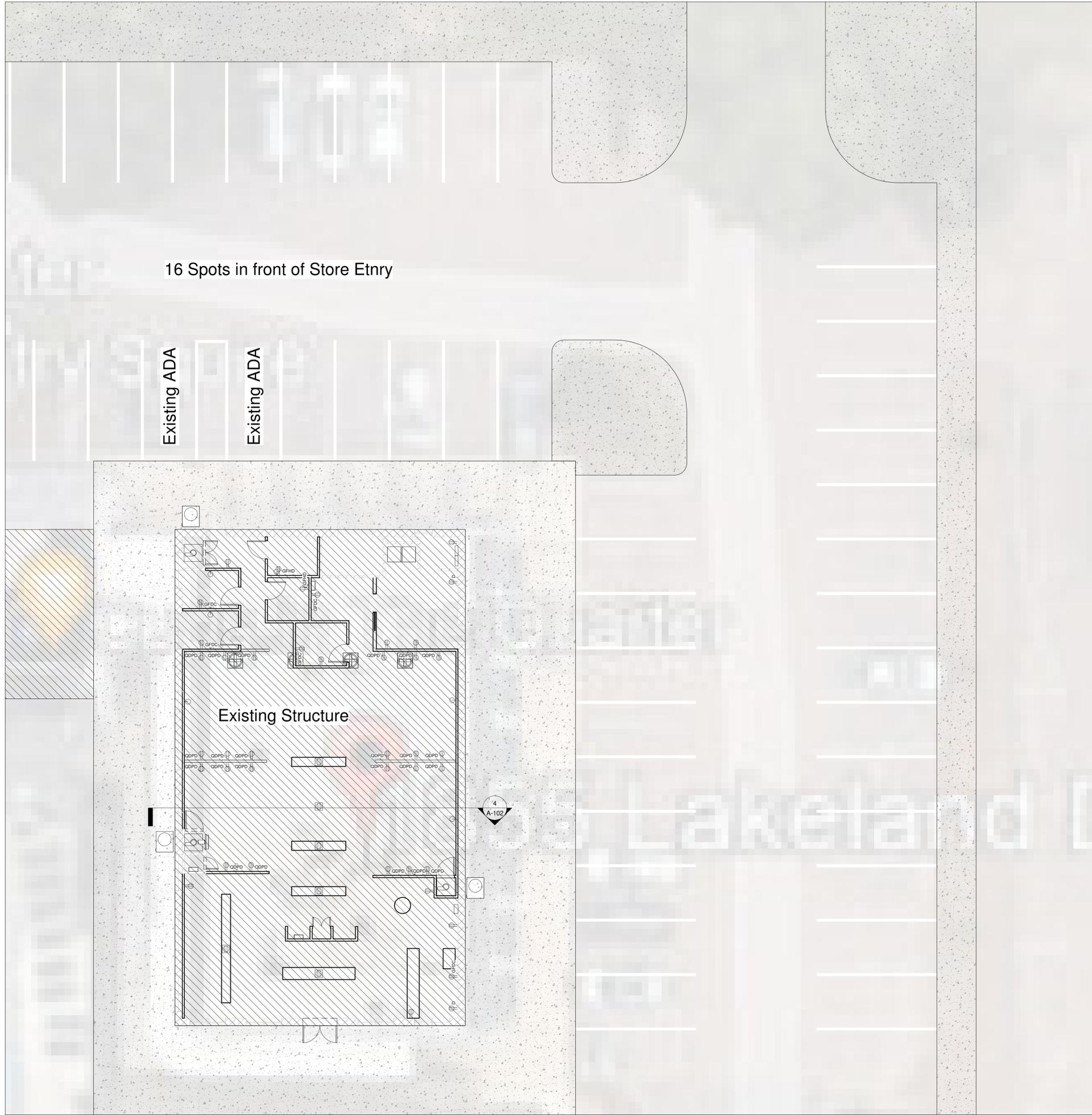
Construction Documents

Revision	Rev Date
Rev 1	8/30/24

Code Review & Life Safety

A 101

G



16 Spots in front of Store Entry

Existing ADA

Existing ADA

Existing Structure

4
A-102

General Notes

1. All Parking is Existing
2. Dumpster Service is part of larger Quarter Development
3. Required Parking: 15 spots @ 1 Spot per 250 Sqft for Retail

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Construction Documents

Revision	Rev Date

Site Layout

C102

A

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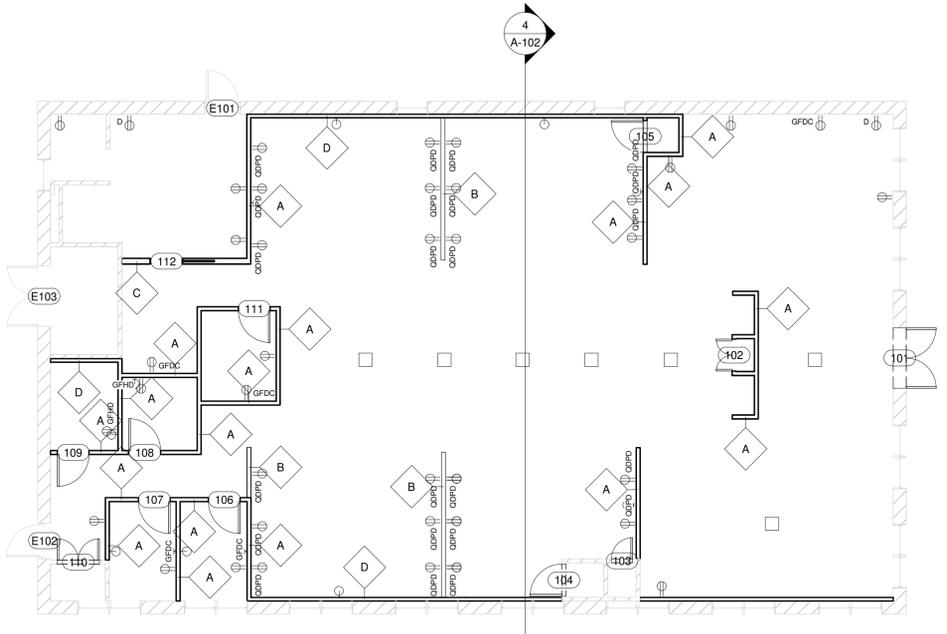
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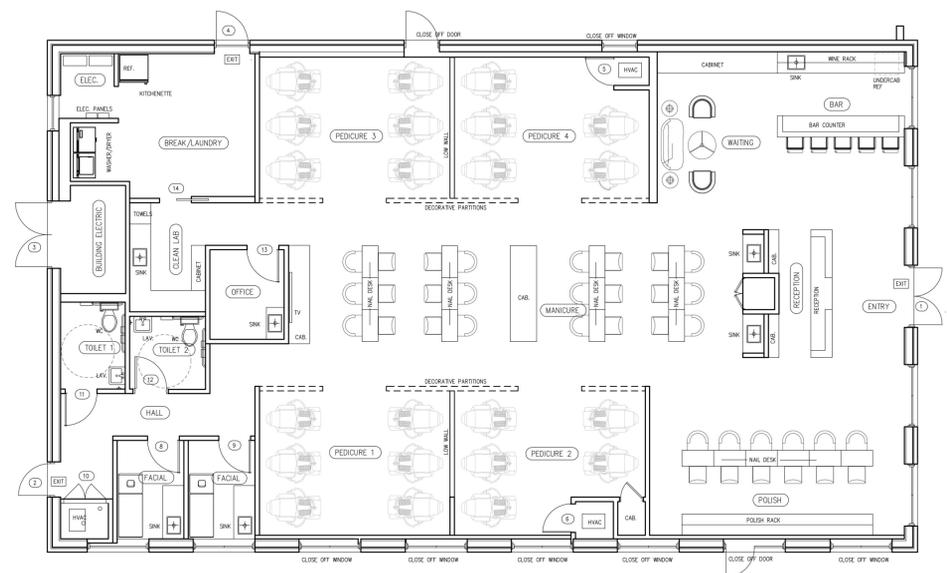
Revision	Rev Date

Floor Plan Tags

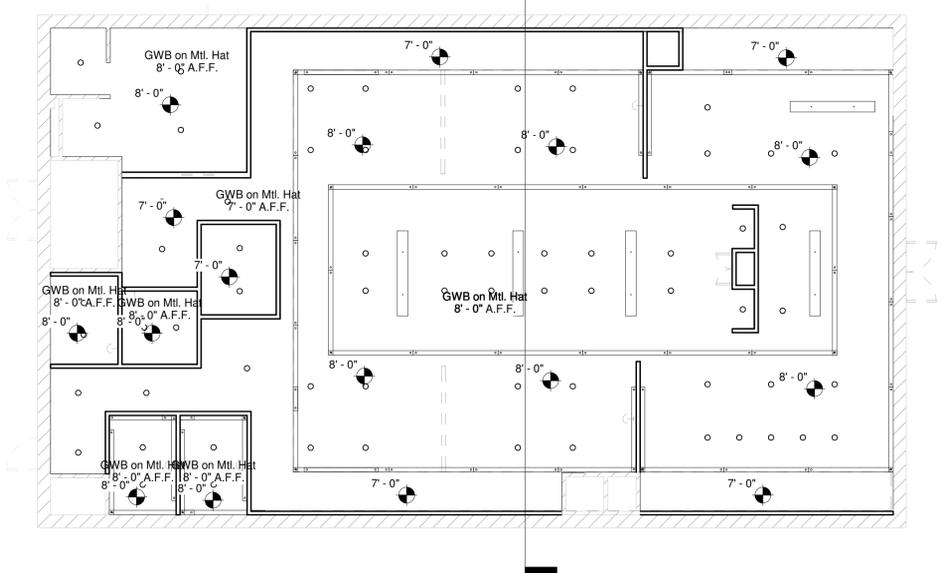
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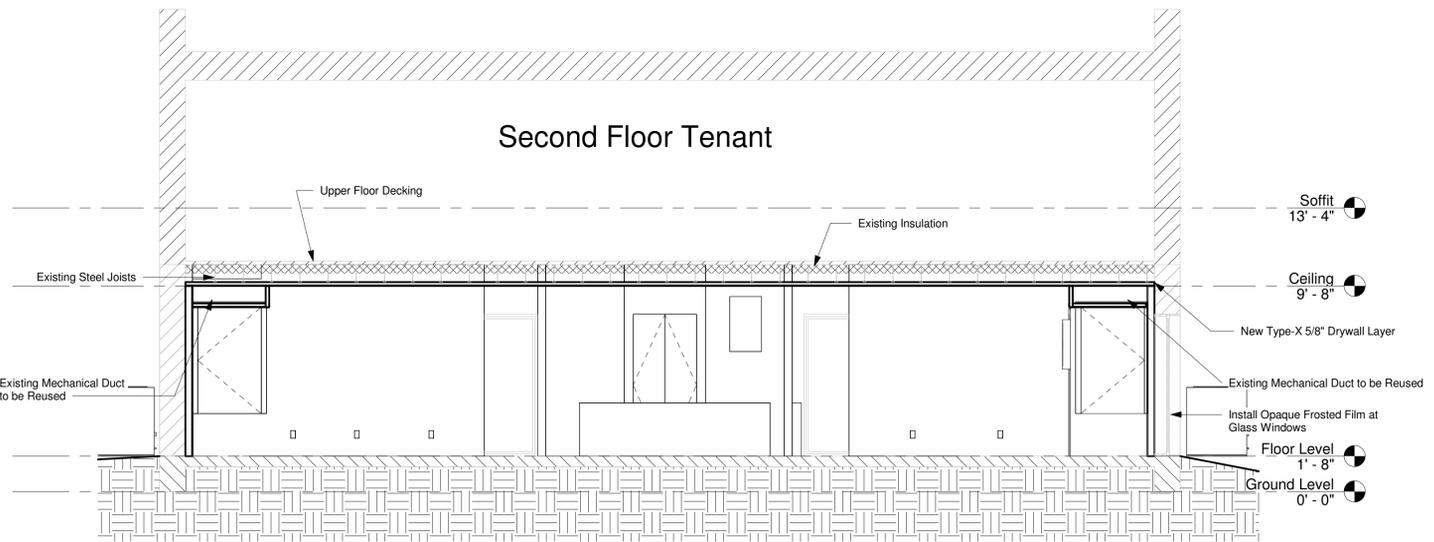
1 Main Floor Tags
1/8" = 1'-0"



2 Floor Plan Layout
1/8" = 1'-0"



3 Floor Level
1/8" = 1'-0"



4 Building Section
1/4" = 1'-0"

Door Schedule

Mark	Height	Width	Operation	Phase Created	Locket Type	Description	#
101	6' - 8"	5' - 8"	Pivot	New Construction	Keyed Entry		101
102	6' - 8"	3' - 0"	Swing	New Construction	Storage		102
103	6' - 8"	2' - 0"	Swing	New Construction	Storage		103
104	5' - 0"	3' - 0"	Swing	New Construction	Storage		104
105	5' - 0"	3' - 0"	Swing	New Construction	Storage		105
106	6' - 8"	3' - 0"	Swing	New Construction	Privacy		106
107	6' - 8"	3' - 0"	Swing	New Construction	Privacy		107
108	6' - 8"	3' - 0"	Swing	New Construction	Privacy		108
109	6' - 8"	3' - 0"	Swing	New Construction	Privacy		109
110	6' - 8"	4' - 0"	Swing	New Construction	Storage		110
111	6' - 8"	3' - 0"	Swing	New Construction	Privacy		111
112	6' - 8"	3' - 0"	Pocket	New Construction	Passage	Johnson Hardware 200PD Commercial Grade Pocket/Sliding Door Hardware	112
E101	6' - 8"	3' - 0"	Swing	Existing	Panic		E101
E102	6' - 8"	3' - 0"	Swing	Existing	Panic		E102
E103	6' - 8"	5' - 8"	Swing	Existing	NA	Now work for this door set in project	E103

New Wall Schedule

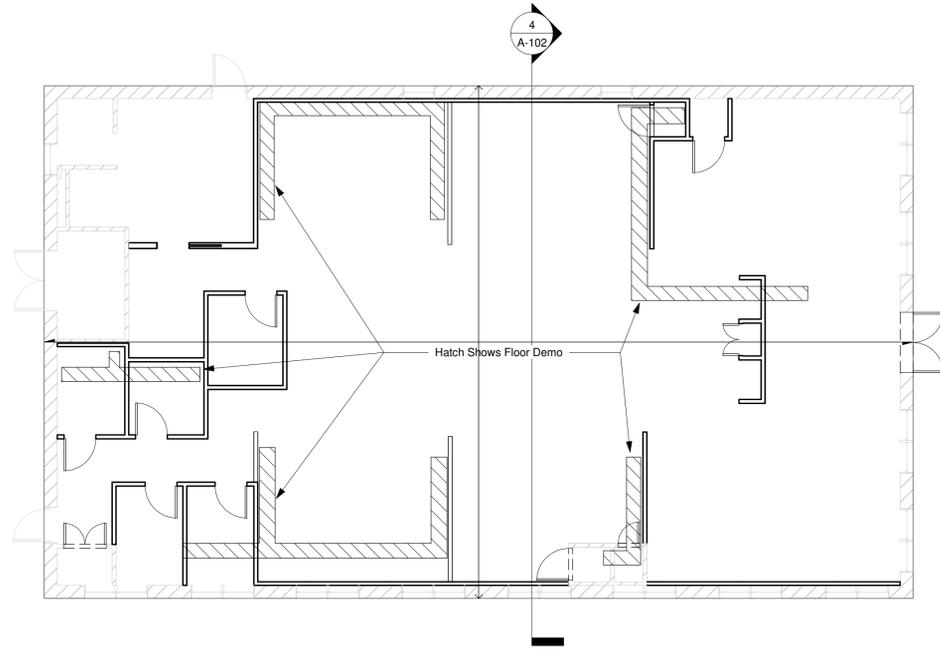
Type Mark	Type	Area
A	Interior - 4 1/2" Standard	1421 SF
B	Interior - 4 1/2" Standard Partial Height	95 SF
C	Interior - 6 1/2" Standard	85 SF
D	Interior - 2x4 Gyp One Side	803 SF

General Ceiling Notes

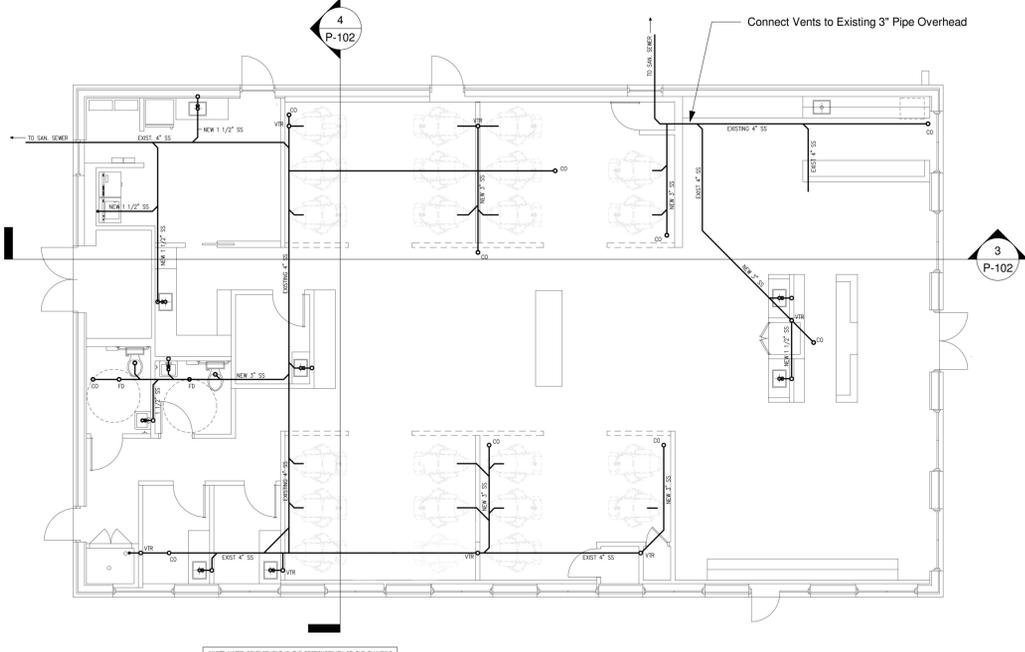
1. Install Type-X Gypsum at Ceiling

General Finish Notes

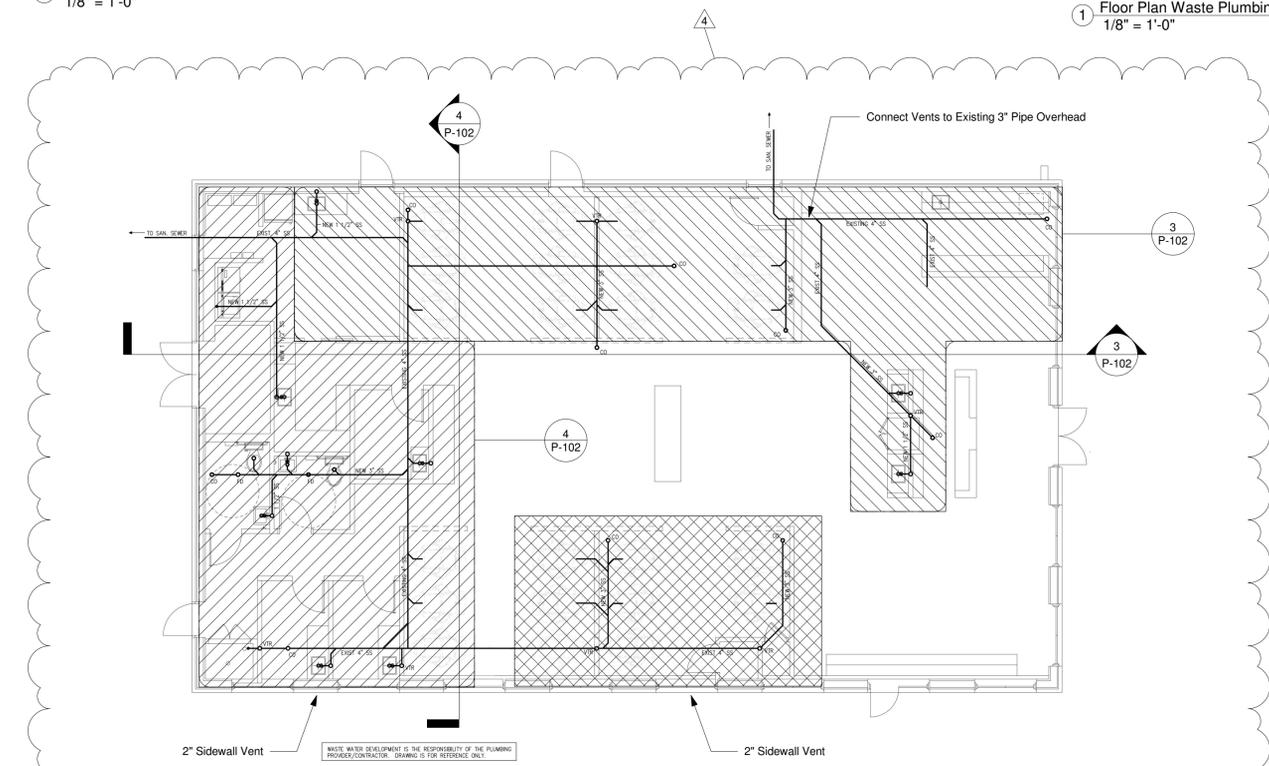
1. All gypsum finishes shall be level 4 finishes Minimum.
2. Overlaid gypsum panels shall be glued to existing Laminate panels as well as screwed to studs.
3. LVT floors shall have waterproofing installed at the substrate. Acceptable substrates for floors are either as follows:
 - A. Pour liquid leveler for a minimum of 1/2"
 - B. Install 1/2" concrete board with subfloor glue and mechanical fasteners
4. New millwork shall be in configuration as shown; detailing shall be determined based on a minimum of 3 options provided by cabinet shop.
5. Install new lever hardware in place of knob style at all doors in home.



2 Plumbing Floor Demo Plan
1/8" = 1'-0"



1 Floor Plan Waste Plumbing
1/8" = 1'-0"



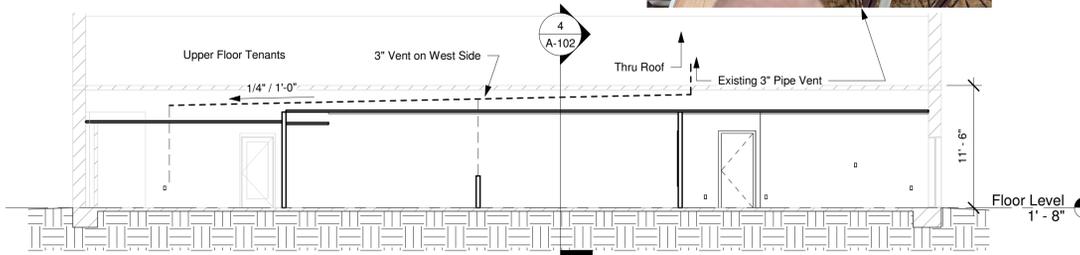
5 Floor Plan Waste Venting
1/8" = 1'-0"



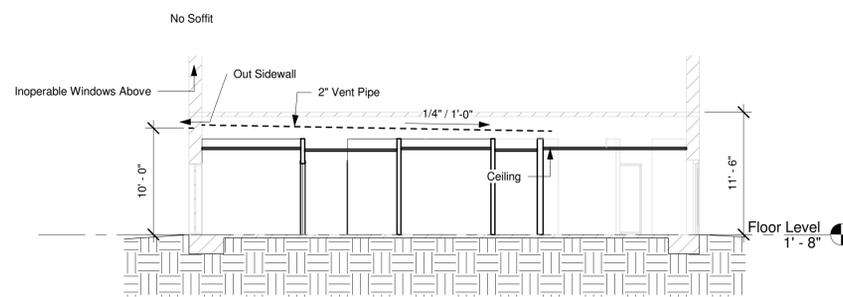
Legend:
CO - Cleanout
VTR - Connect to Propose Venting Below
SS - Sanitary PVC Pipe
FD - Floor Drain

General Plumbing Notes

- All condensate lines shall be insulated
- Provide drain pan at all water heating equipment with gravity drainage to nearest vent stack
- Refer to architectural drawings for exact locations of fixtures
- Individual supply cold water branch piping shall be 1/2" throughout.
- Use Manifolds where possible to eliminate in wall pex junctions.
- All drainage pvc shall include long sweep elbows for any 90 degree turn.
- Supply plumbing shall be pex piping throughout
- All waste pipe shall be Schedule 40 PVC
- Conceal all supply plumbing in wall or attic
- Provide Cutoffs at all Fixtures
- All Piping below cabinetry serving fixtures shall include P-Traps.
- Install clean outs as able for servicing of all branch lines.
- All plumbing work shall conform to the current building code adopted by the jurisdiction's building department or to the International Plumbing Code, 2018 Edition, whichever is more stringent.
- Provide hot & cold supplies to all fixtures except toilets which shall have only cold.
- 1/4" C denotes 1/4" cutoff for cold water supply only.
- All new piping to be typical PEX installation.
- Heavy line denotes PVC waste line with notations for diameter on drawing. Include long sweep connections at all PVC 90 degree turns.



3 Plumbing Vent Diagram #1
1/8" = 1'-0"



4 Plumbing Vent Diagram #2
1/8" = 1'-0"

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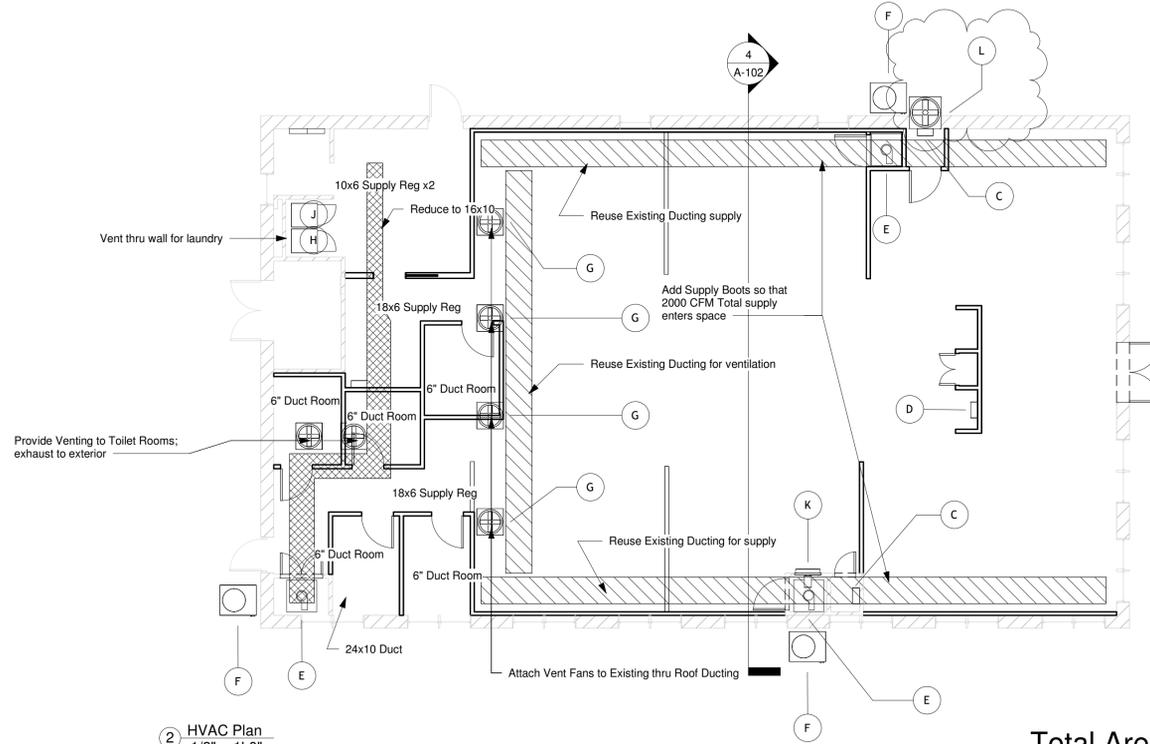
Construction Documents

Revision	Rev Date
Rev 1	8/30/24

Plumbing

101

P



2 HVAC Plan
1/8" = 1'-0"

Total Area: 3950 Square Feet

Equipment Schedule

Phase Created	Type Mark	Description	Voltage	Wattage	Mains	Comments	Count
Existing	A	400 Amp Panel	240 V	-	400 A		1
New Construction	B	225 Amp Panel	240 V	-	225 A		2
New Construction	C	18 KW Tankless Water heater	240 V	18 KW	40 Amp 2 Pole Breaker		2
New Construction	D	13 KW Tankless Water Heater	240 V	13 KW	30 Amp 2 Pole Breaker		2
New Construction	E	5 Ton 15.2 Variable Speed Air Handler	240 V	15 KW	15 Amp 2 Pole Breaker		3
New Construction	F	5 Ton Condenser	240 V	0.2 HP	60 A	50 Amp 2 Pole Breaker with Disconnect	3
New Construction	G	Inline Duct Fan - 970 CFM	120 V	200 W	2 A	Ventilation Fans Switched in Break Room	4
New Construction	H	Large Capacity Clothes Washing machine	120 V	0.25 HP	2 A		1
New Construction	J	Large Capacity Clothes Drying Machine	240 V	5.4 KW	23 A	30 Amp 2 Pole Breaker	1
New Construction	K	Broan In-Wall Dehumidifier MD B33DHW	120 V	324 W	3 A	Mod	1
New Construction	L	Fresh Air Supply Unit - 3800 CFM	120 V	1 HP	11 A		1
New Construction	M	MIN 50 CFM Powered Toilet Vent	120 V	49 W	1 A	Ventilation Fans Switched in Break Room	2

General HVAC Notes

1. Drain condensate to sewer.
2. All round ducting to be snap lock galvanized metal.
3. Provide return plenum under equipment so that return grill. Plenum shall be built out of plywood construction and fully sealed from crawlspace & wall cavities.
4. Duct sizing noted on plans.
5. Seal all ducting with aluminum foil tape.
6. Provide strapping to secure ducting.
7. Provide insulated duct/register boots at all registers.
8. Recommended ventilation for salons are 25 CFM per occupant:
A. Occupancy for Mercantile: 62 MAX
B. CFM Recommended: 1550 CFM
C. CFM Provided: 3400 CFM
D. Make Up Air Provided: 3800 CFM
9. Mount Make Up Air Duct to Side Wall and paint to match brick.



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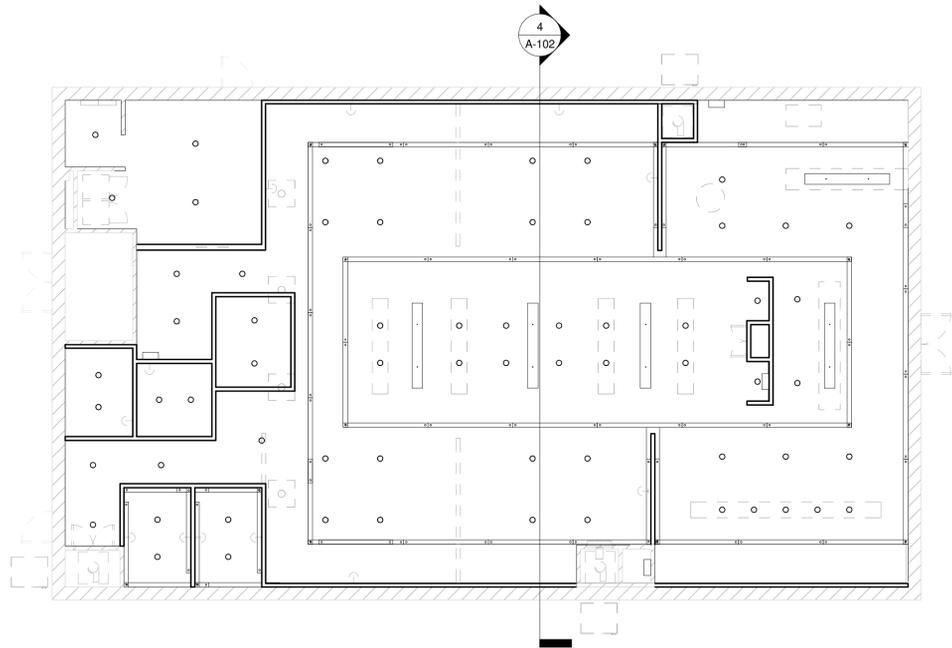
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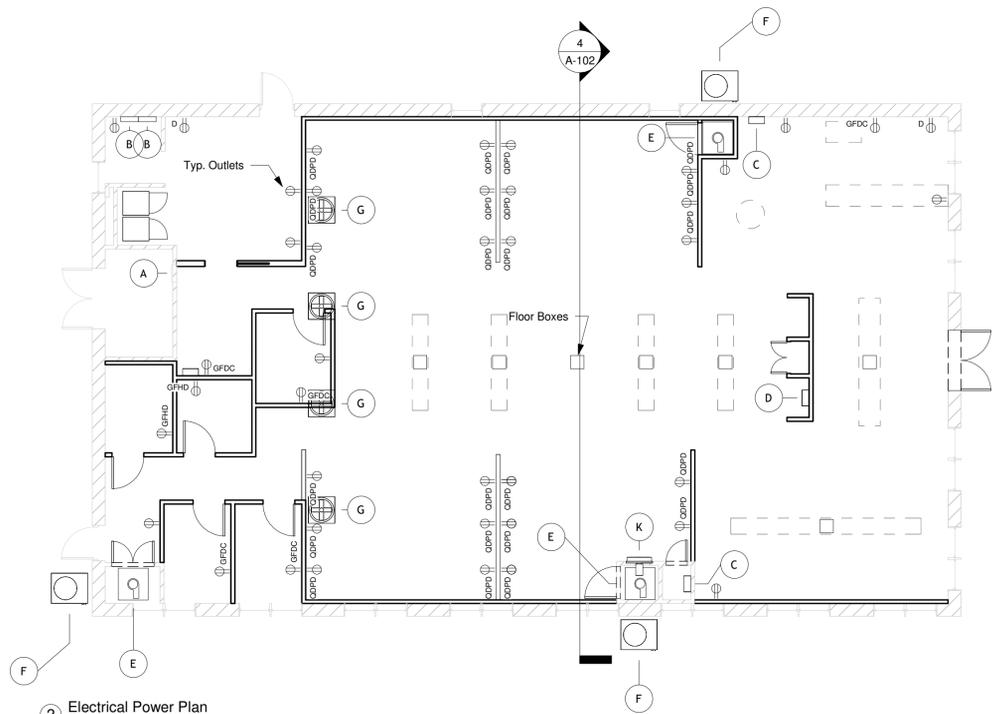
Revision	Rev Date
Rev 1	8/30/24

Mechanical

101 M



1 Electrical Lighting Plan
1/8" = 1'-0"



2 Electrical Power Plan
1/8" = 1'-0"

Lighting Fixture Schedule

Type Mark	Description	Luminous Flux	Amps @ 120V	Model	Type Comments	Initial Color Temperature	Switching	Count	#
A	1140 Lumens - 14 Watt - 6 in. Color Selectable Fire Rated LED Downlight Fixture	1142 lm	0.12 A	PLT-12994	FR 2 Hour	3000 K	Break Room Main	65	A
B	Owner Provided Decorative Pendant/Track	5700 lm	1 A	-	-	3000 K	Break Room Main	5	B
C	32" Lighted Mirror	1690 lm	1 A	Generic	Wet Area	3000 K	In Room	2	C
D	8' Sections of Rope/Tray Light	2000 lm	0.96 A	Generic	-	3000 K	Break Room Main	54	D
E	Globe Wall Sconce	1690 lm	0.33 A	Generic	-	3000 K	Break Room Main	10	E

136

Equipment Schedule

Phase Created	Type Mark	Description	Voltage	Wattage	Mains	Comments	Count
Existing	A	400 Amp Panel	240 V	-	400 A		1
New Construction	B	225 Amp Panel	240 V	-	225 A		2
New Construction	C	18 KW Tankless Water heater	240 V	18 KW		40 Amp 2 Pole Breaker	2
New Construction	D	13 KW Tankless Water Heater	240 V	13 KW		30 Amp 2 Pole Breaker	2
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New Construction	K	Broan In- Wall Dehumidifier MD B33DHW	120 V	324 W	3 A	Mod	1

Electrical Fixture Schedule

Type Mark	Description	Elevation from Level	Count	Comments
D	Dedicated Duplex 120 Outlet	1' - 8"	2	
GFDC	GFCI Duplex Above Counter Outlet	3' - 10"	5	
GFHD	GFCI Duplex Hidden Behind Mirror	1' - 8"	2	
QDFB	Quadplex 120 Floor Box	0' - 0"	7	
QDPD	Quadplex Wall Fixture	0' - 10"	26	2 Quads per 20 Amp Breaker
Symbol Only	120 Outlet	0' - 10"	9	General Circuit

General Notes

- Supply disconnect box and power for all exterior hvac units. install all electrical wire between interior and exterior units.
- Electrical panelboard/switchboard may not be located behind a door that will open or close over it or in a room that may be locked and must have 36"x30" clear working space and 6'-6" headroom per nec-110.
- Provide power to all scheduled equipment. Coordinate req. per manf. specification.
- GFCI protection must be provided for any receptacle outlet in the following: a bathroom, any counter top kitchen/laundry, garage outlets minimum 18" above finished floor height, outside front and rear outlets must also have a waterproof coverplate.
- Contractor shall coordinate receptacle requirements for all plugs and equipment.
- Contractor shall provide power to all venting required in bathrooms and kitchens and any/all booster fans that may be required for dryers, range hoods, and bathroom vents.
- All equipment and receptacles shall be mounted flush unless otherwise noted.
- Install Mounting Plates at all recessed lighting similar to Universal New Construction Mounting Pan - For Use With 3, 4, and 6 in. LED Downlight Fixtures by PLT.

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Electrical

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